

# Riverfront Crossings District Sub-Area

January 27<sup>th</sup>, 2011



# Introduction

Jeff Davidson

Director of Planning and Community Development

# Partnership for Sustainable Communities Initiative

David Doyle

EPA



Environmental Protection Agency



Department of Housing and  
Urban Development



Department of Transportation

# Livability Principles

1. Provide more transportation choices.
2. Promote equitable, affordable housing.
3. Enhance economic competitiveness.
4. Support existing communities.
5. Coordinate and leverage federal policies and investment.
6. Value communities and neighborhoods.

# Brownfields

Clark Henry

SRA International

# Brownfields?

- Light industrial and automotive related commercial history within the Riverfront Crossings District potentially creates issues related to contamination on some properties, representing hurdles to redevelopment.



- Guidance includes strategic steps that address contamination in order to realize redevelopment



# Framework Plan

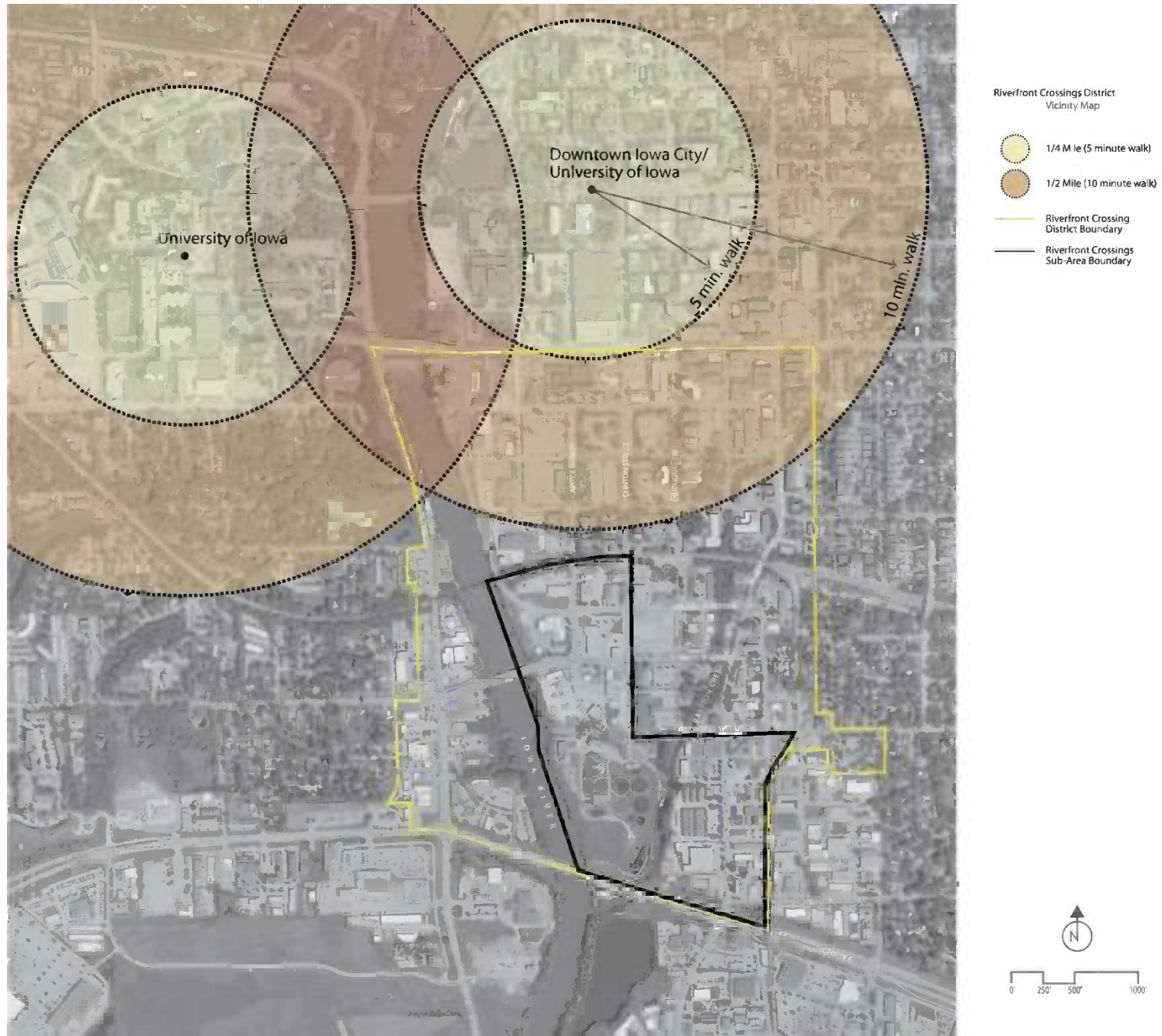
Doug Bisson

HDR



# Existing Conditions

# Study Area



# Existing Built Form

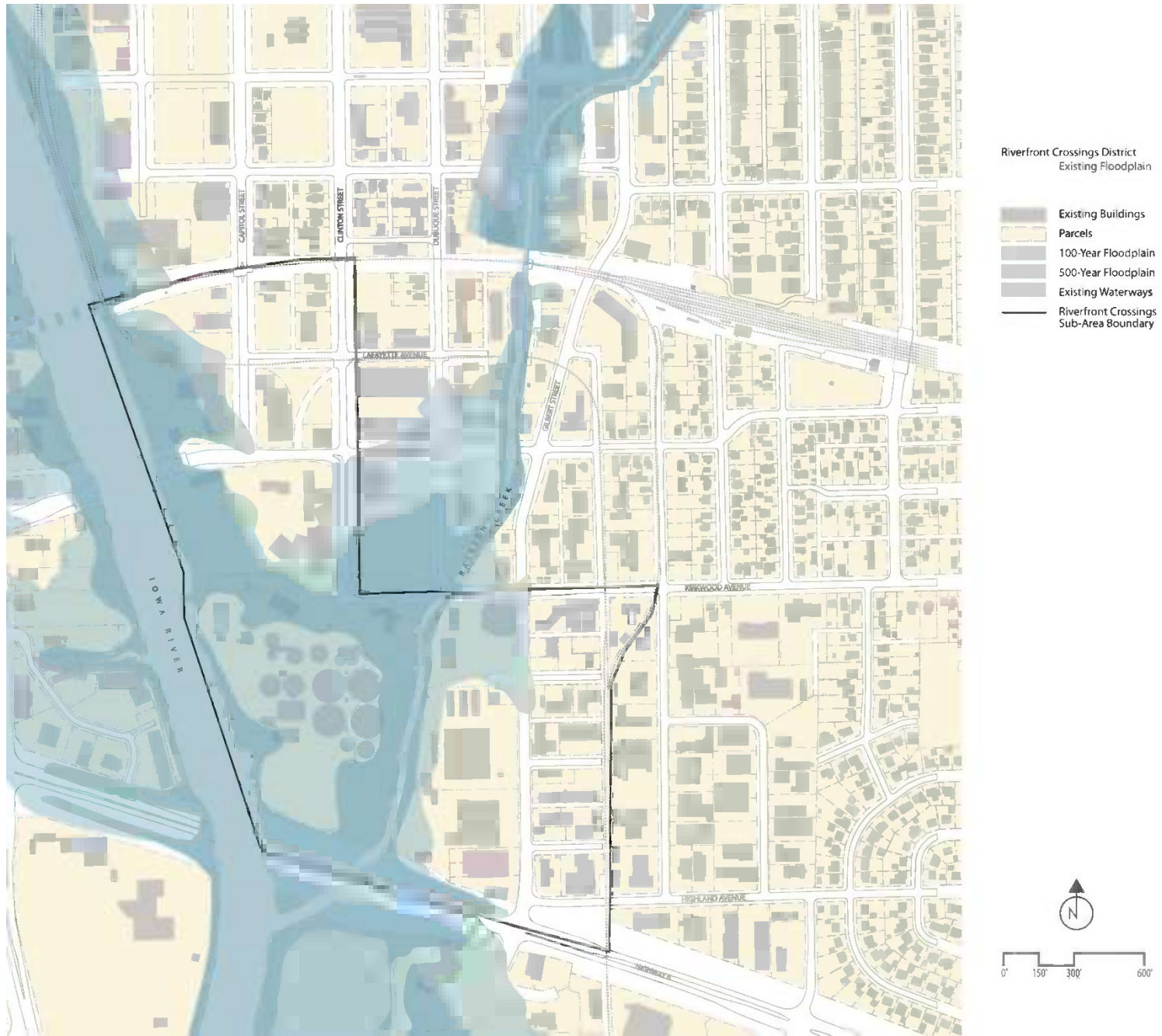






Study Area looking East

# Floodplain







June 2008

# Topography





# Existing Mobility





# Existing Conditions Character Photos



# Framework Plan

# Goals

- Develop a new mixed-use pedestrian-oriented district
- Create a resilient riverfront park system
- Enhance Ralston Creek to become a community asset
- Develop a multi-modal transportation network
- Create a network of green streets in the district
- Promote sustainable design practices within the district



# Framework Plan





# Riverfront Crossings Character Rendering

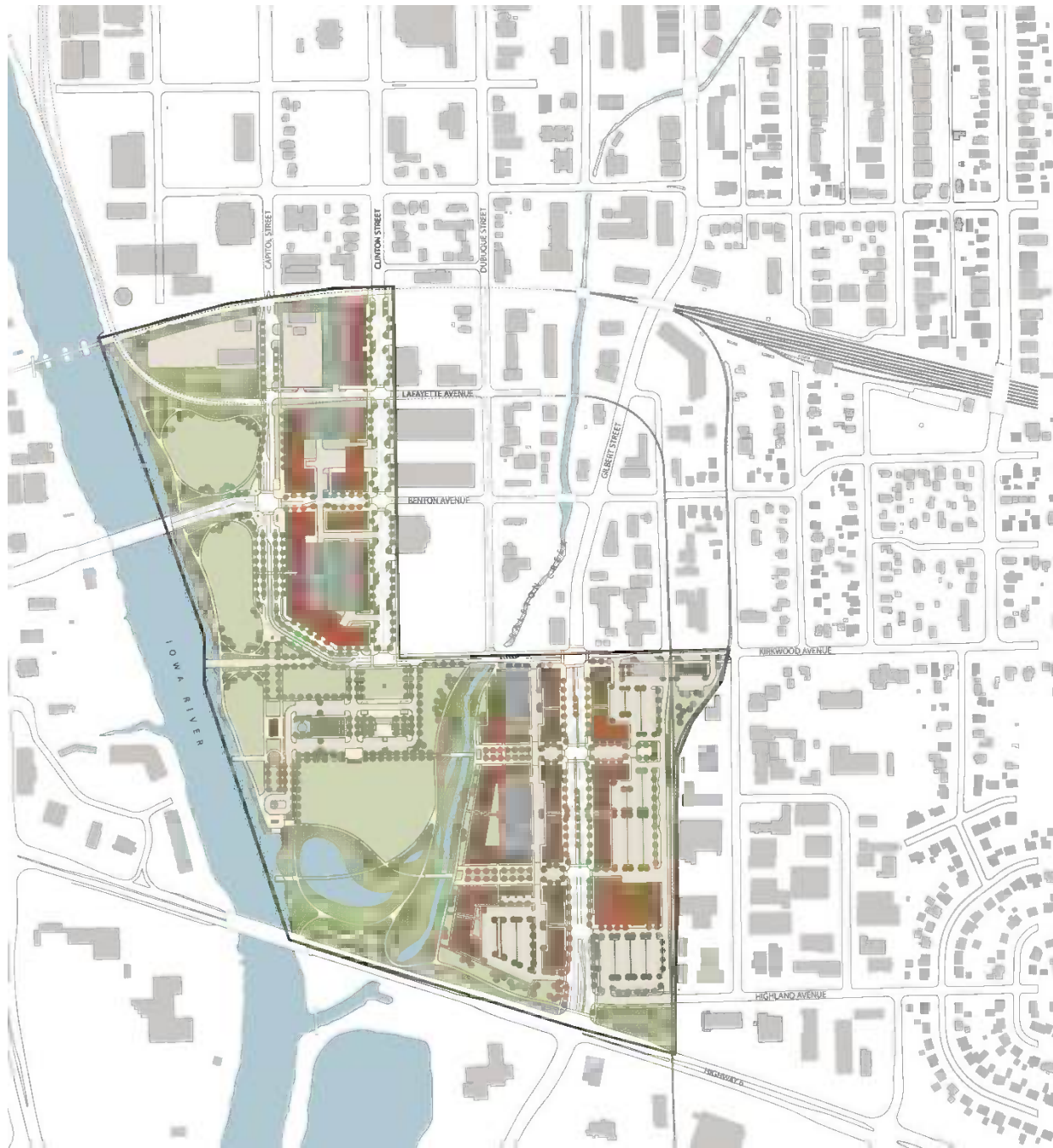


# Yield Analysis

- Sub-Area Total
  - *76.80 acres*
- Park
  - *25.99 acres*
- Built Development
  - *25.77 acres*
    - Residential Space
      - *1,072,000 sq.ft.*
      - *approx. 955 units*
    - Maximum Ground Floor Retail/Office Space
      - *222,650 sq.ft.*
    - Parking Spaces
      - *2,142 structured or surface spaces*
      - *276 on-street spaces*



# Plan



Riverfront Crossings District  
Conceptual Site Plan

- Manicured Landscape
- Naturalized Landscape
- Existing Buildings
- Proposed Buildings
- Parking
- Parking Garages
- Existing Waterways
- Riverfront Crossings Sub-Area Boundary

# Plan – The “Park Blocks”

Riverfront Crossings District  
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# The “Park Blocks” Character Rendering



# Plan – The Gilbert Street Corridor

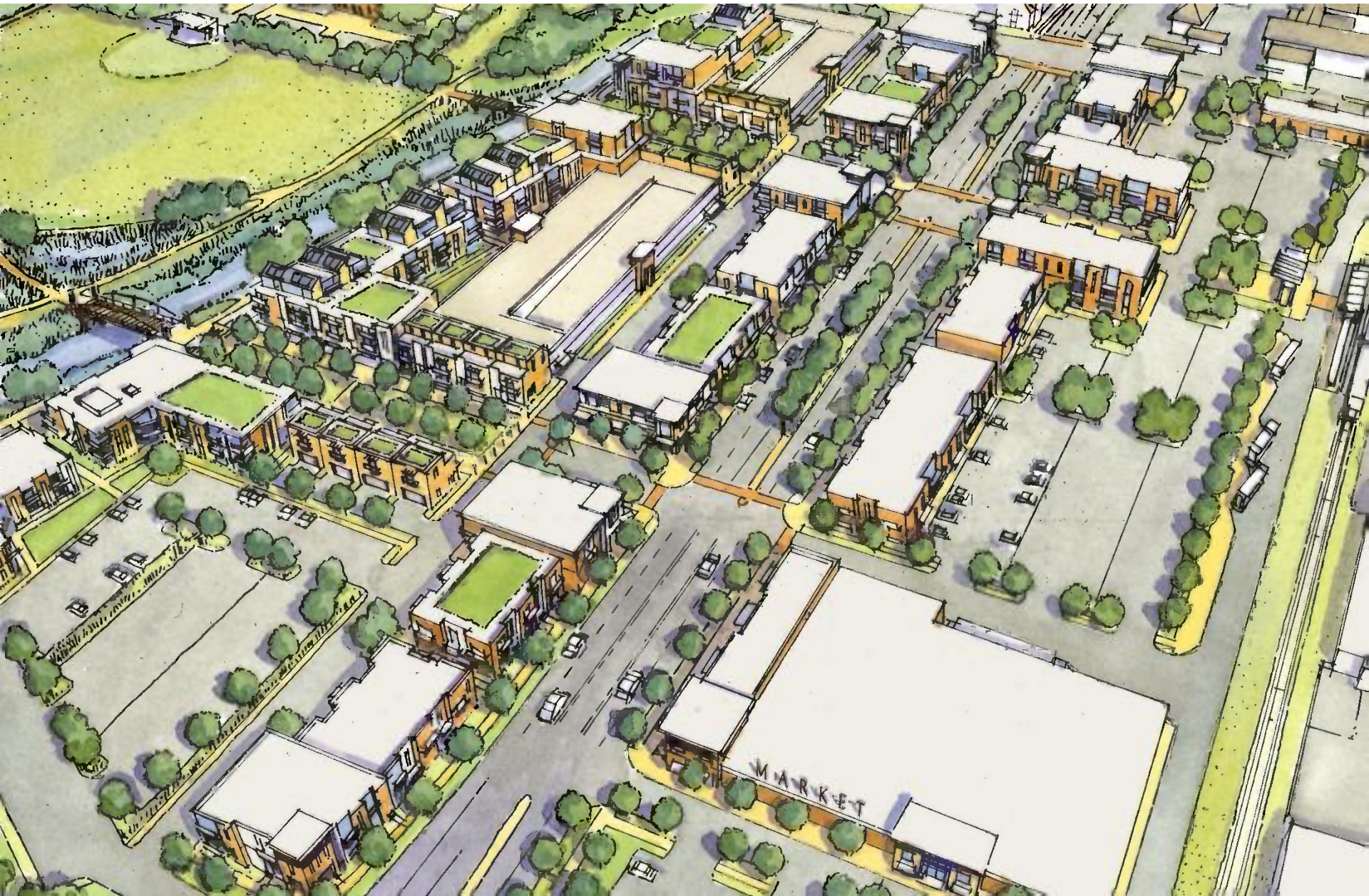
Riverfront Crossings District  
Conceptual Site Plan

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# Gilbert Street Corridor Character Rendering

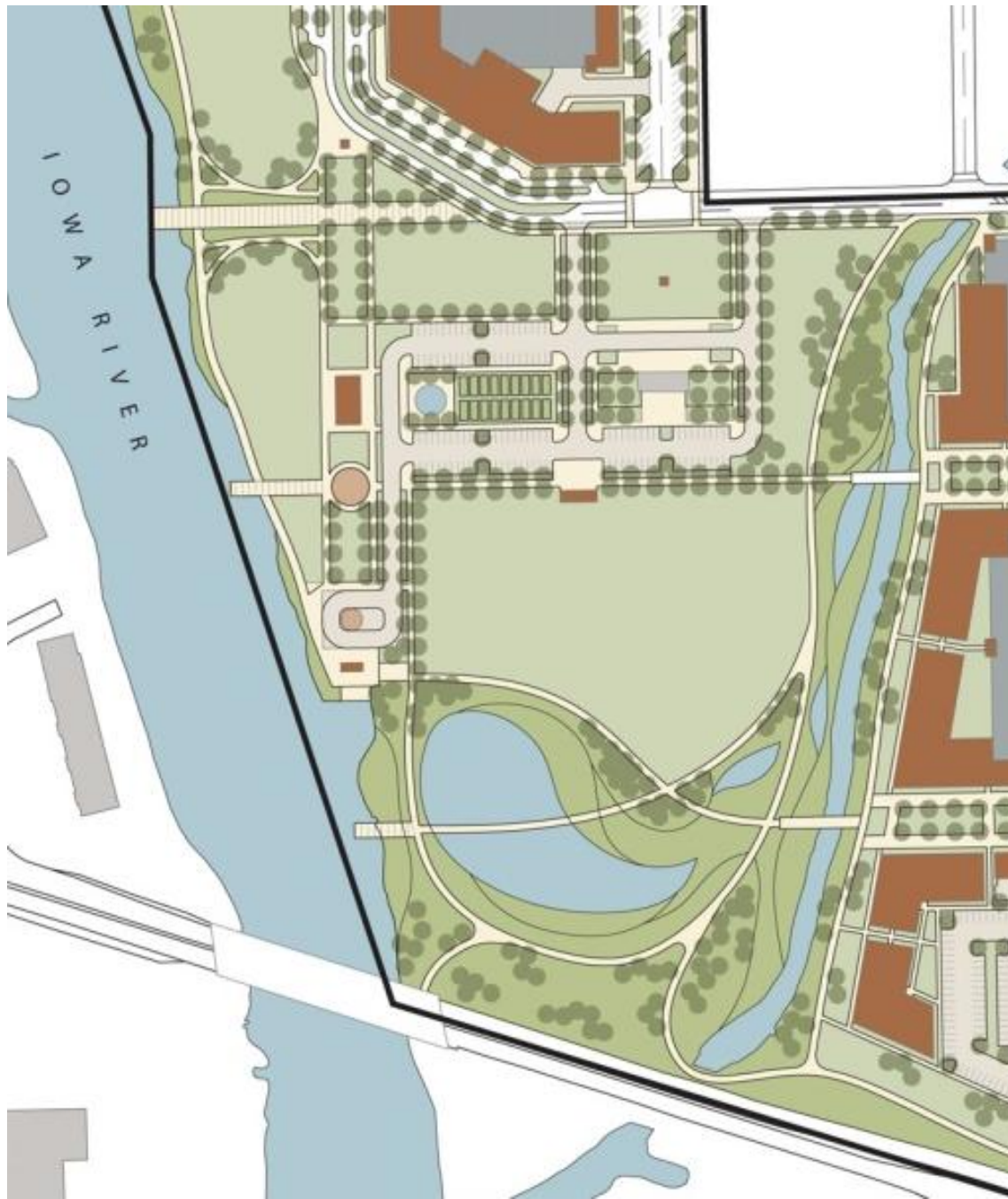




# Plan – Riverfront Crossings Park

Riverfront Crossings District  
Conceptual Site Plan

- Manicured Landscape
- Naturalized Landscape
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# Riverfront Trail Character Rendering





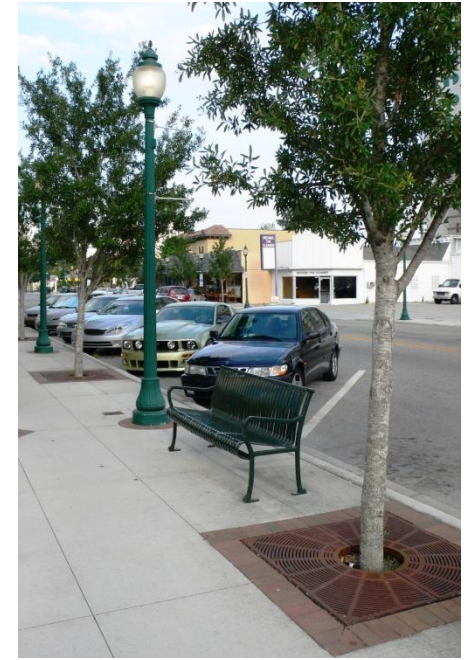
# Constructed Wetland Character Rendering



Mobility



# Mobility Character Photos



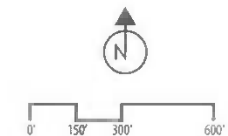


# Diagram - Mobility



Riverfront Crossings District  
Mobility

- Pedestrian Sidewalks
- Existing Trail Network
- Proposed Trail Network
- Vehicular Drives/Parking
- Sharrows
- Bus Stops
- Proposed Bus Routes
- Potential Future Bus Routes
- Light Rail / Stop (Future)
- Commuter Rail / Stop (Future)
- 1/4 mile radius Pedestrian Shed
- Existing Waterways
- Riverfront Crossings Sub-Area Boundary



# Street Sections

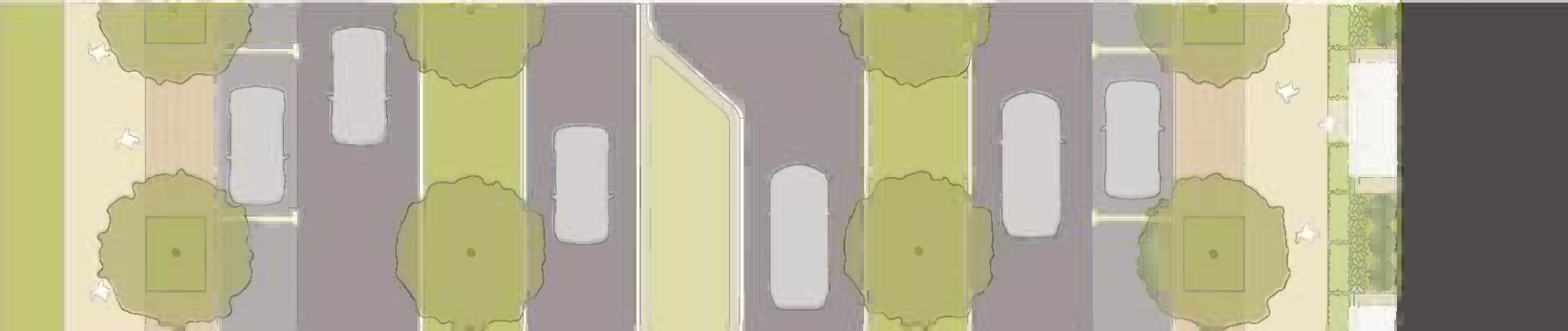
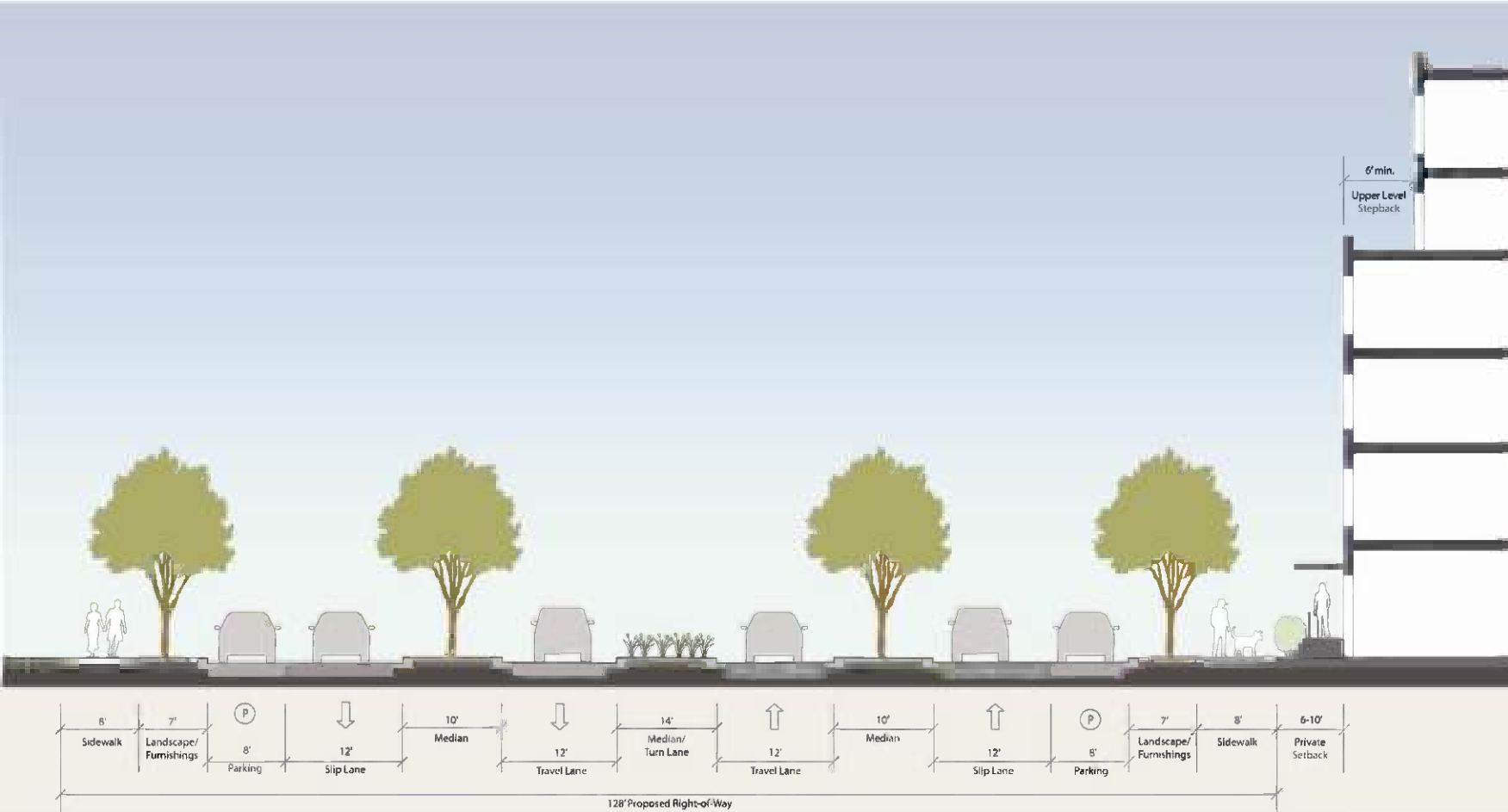
# Capitol Kirkwood Connector

Riverfront Crossings District  
Conceptual Site Plan

- Manicured Landscape
- Naturalized Landscape
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- Proposed Buildings
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- Parking Garages
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# Capitol/Kirkwood Connector



# Clinton Street

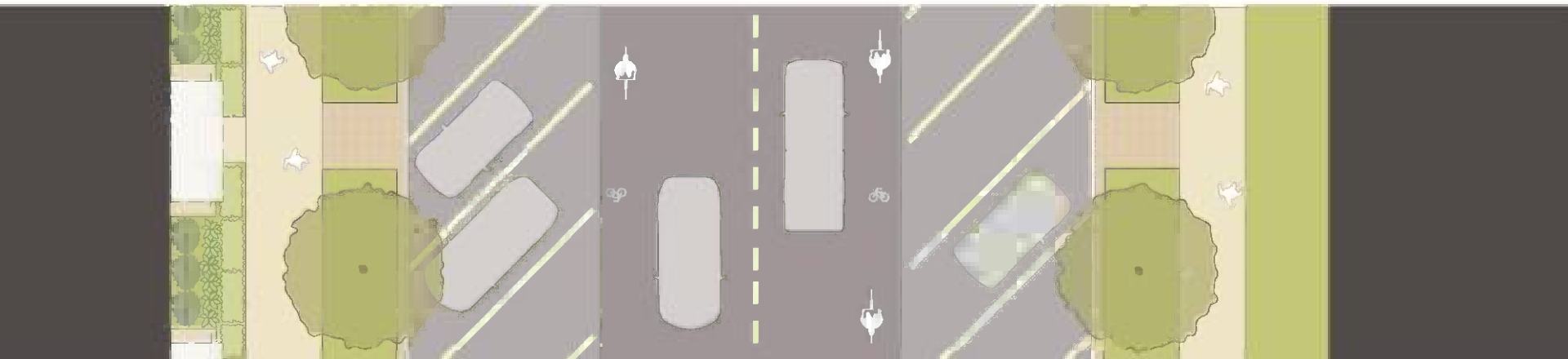
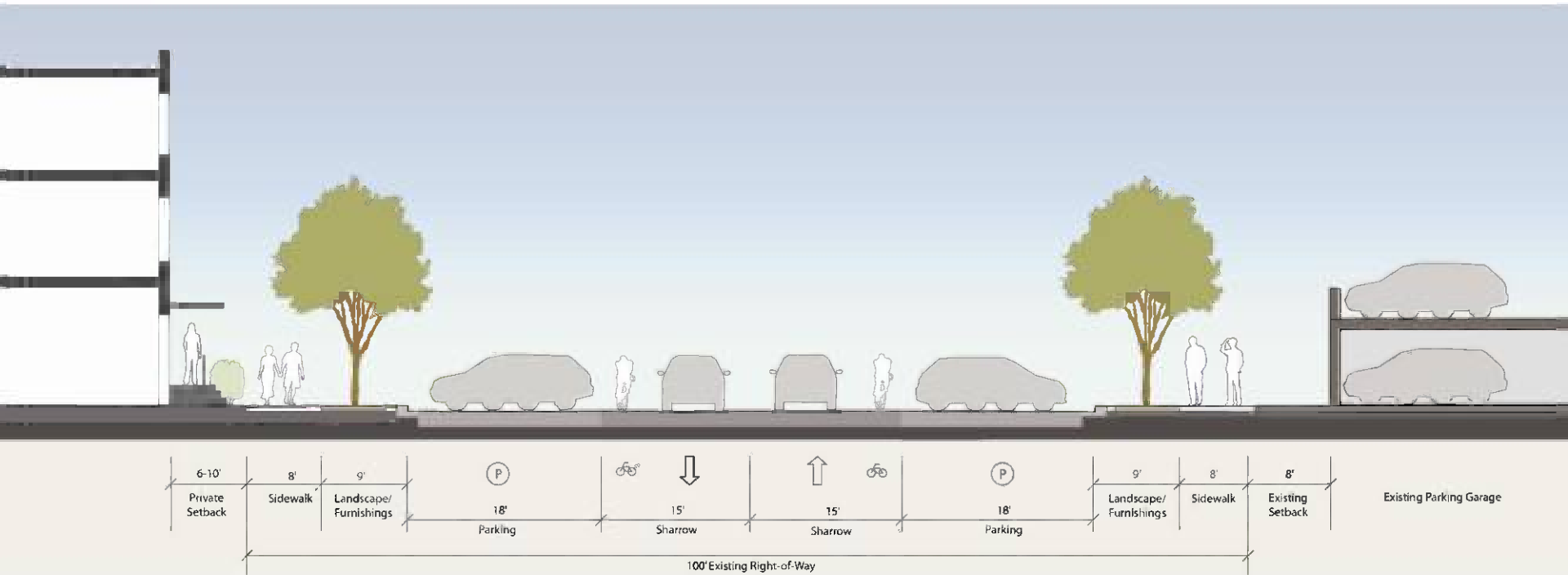
Riverfront Crossings District  
Conceptual Site Plan

- Manicured Landscape
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# Clinton Street



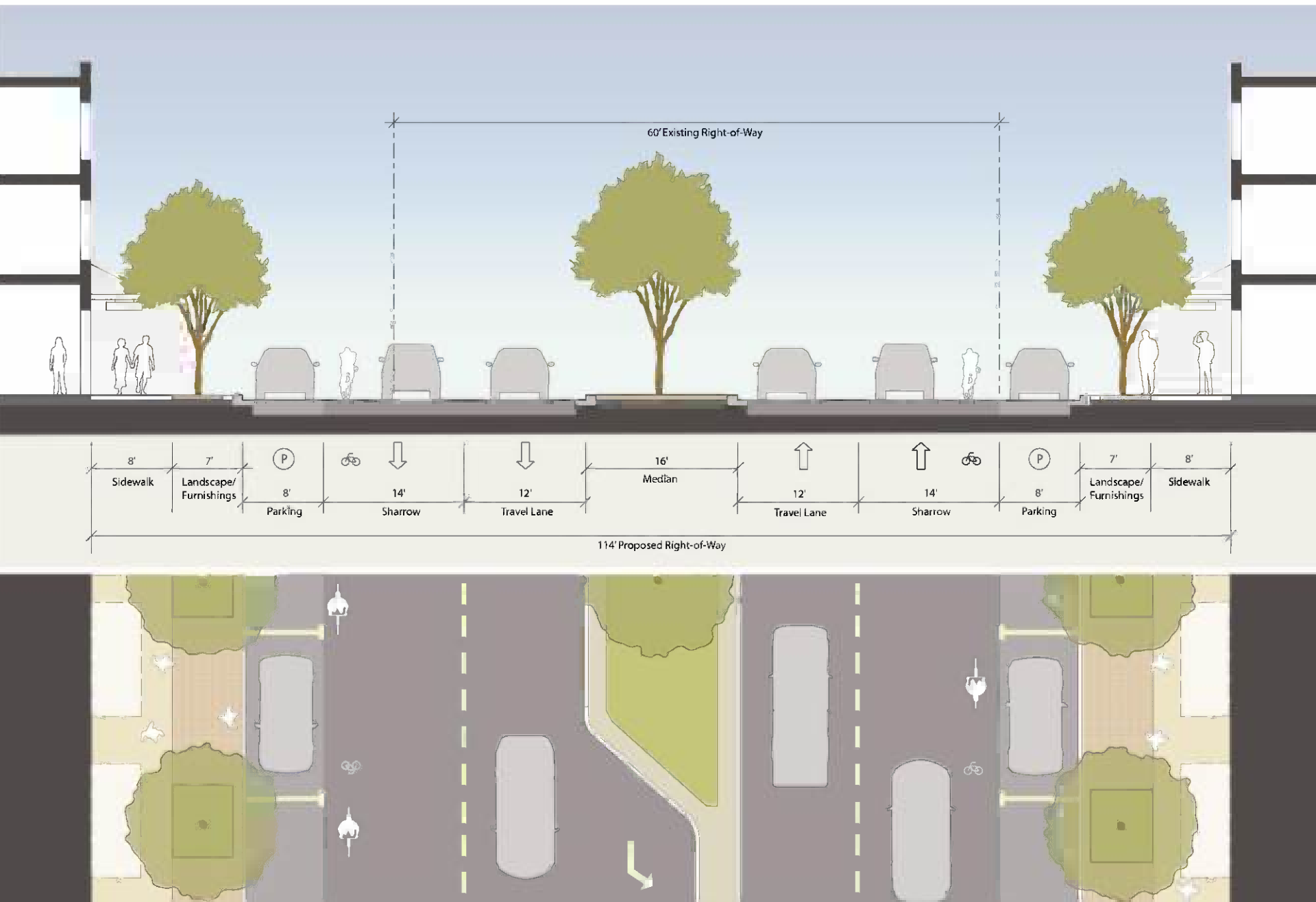
# Gilbert Street

Riverfront Crossings District  
Conceptual Site Plan

- Manicured Landscape
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# Gilbert Street





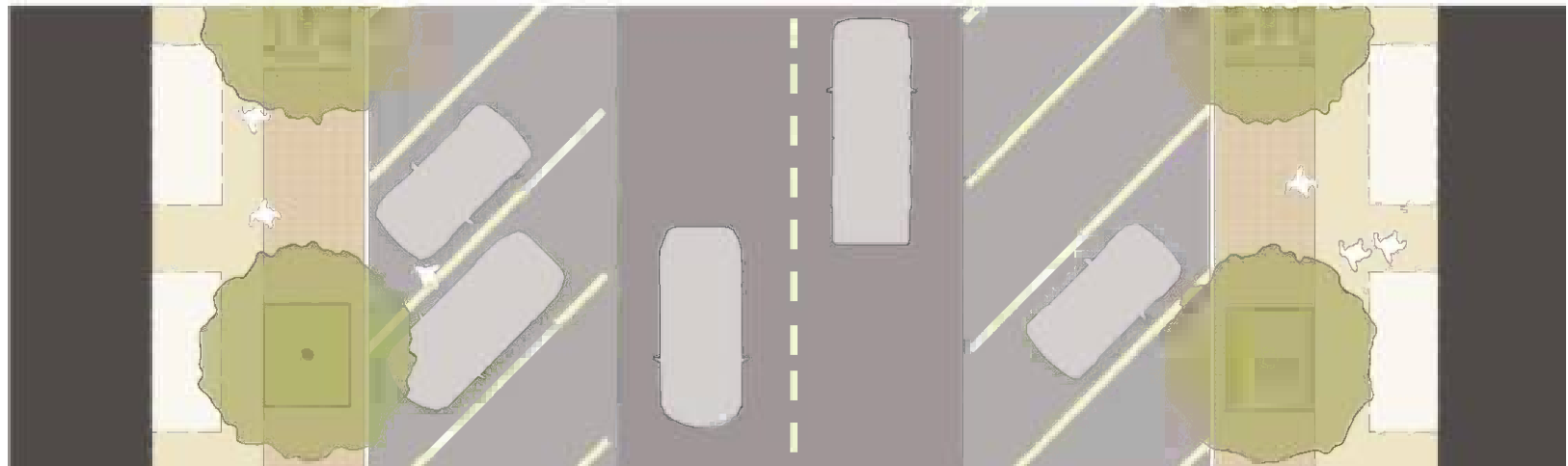
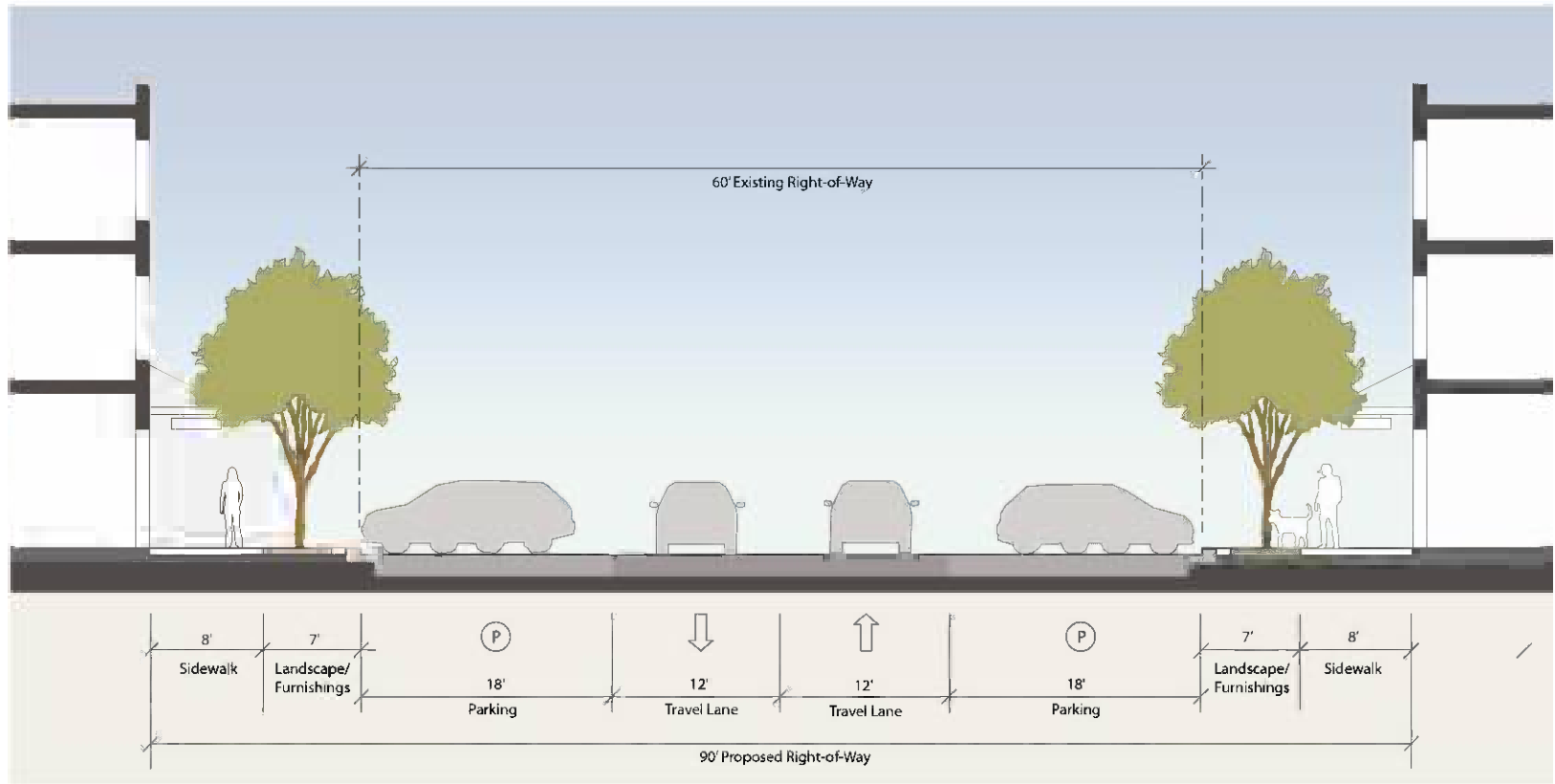
# 1<sup>st</sup> Street

Riverfront Crossings District  
Conceptual Site Plan

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# 1<sup>st</sup> Street



# Public Realm

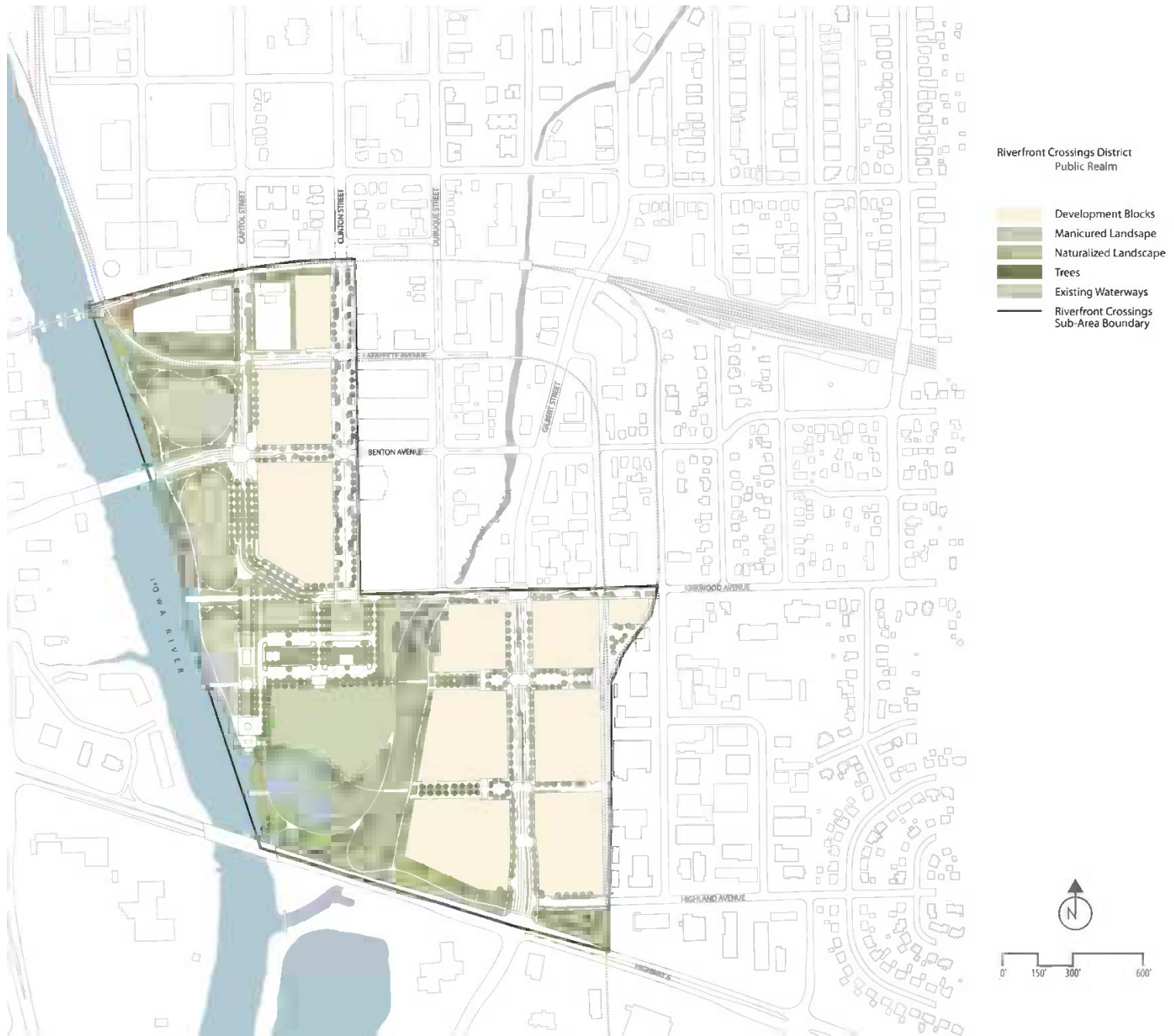


# Public Realm Character Photos





# Diagram – Public Realm



# Residential Courtyard

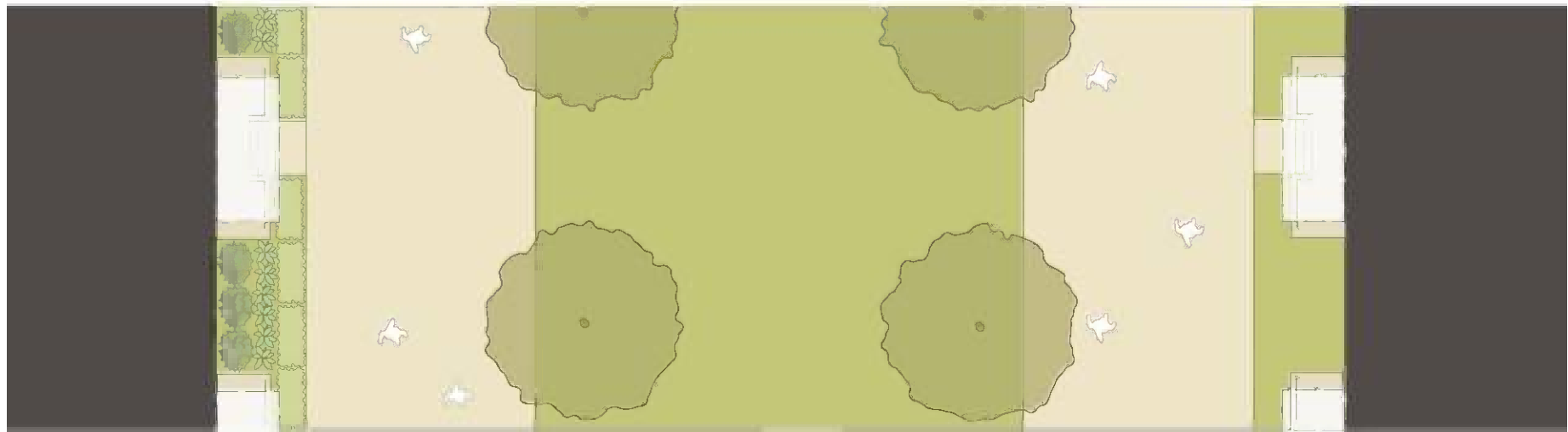
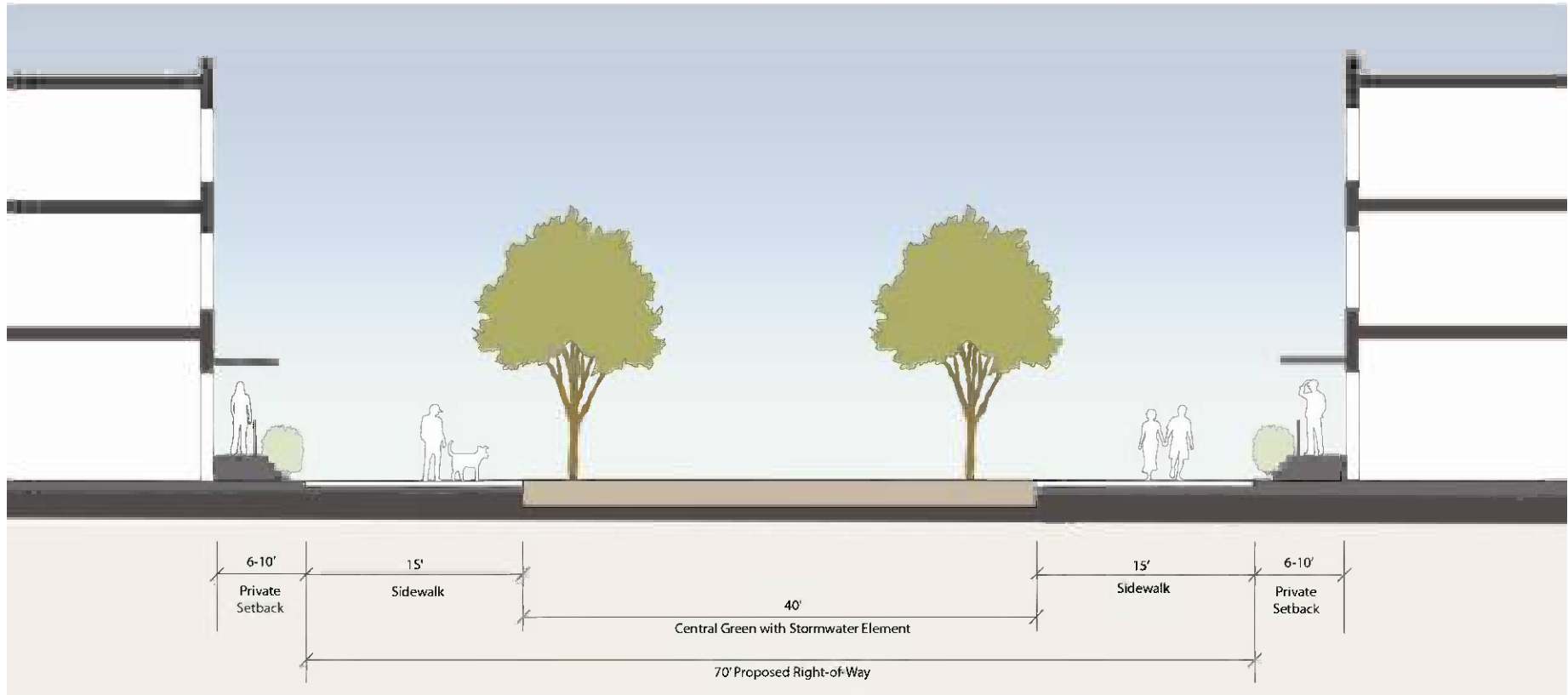


Riverfront Crossings District  
Public Realm

- Development Blocks
- Manicured Landscape
- Naturalized Landscape
- Trees
- Existing Waterways
- Riverfront Crossings Sub-Area Boundary



# 1<sup>st</sup> Street – Residential Courtyard



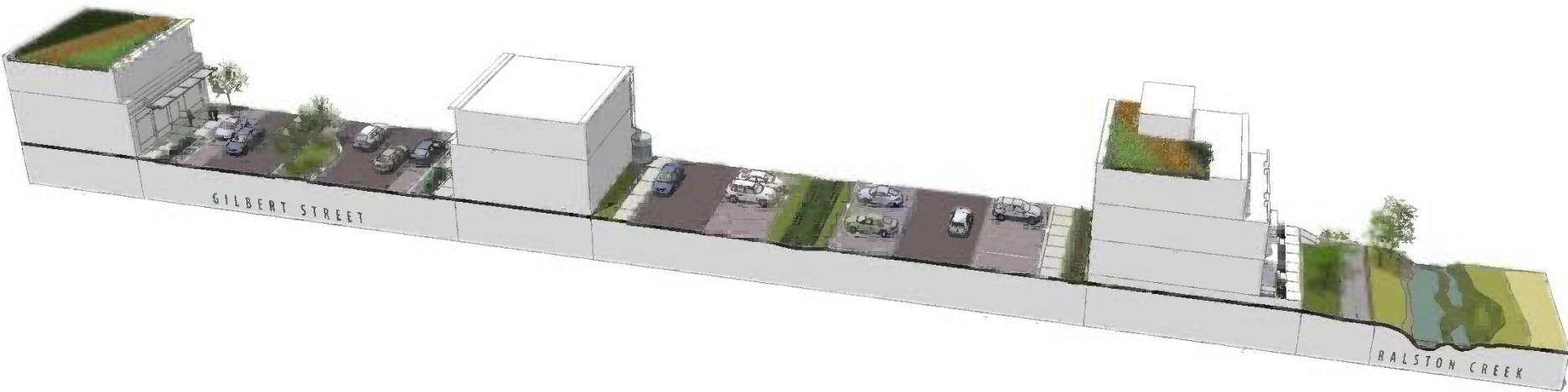
# Residential Courtyard Character Rendering



# Water Resources



# The Riverfront Crossings Transect



Mixed Use  
Building

Main Street

Mixed Use  
Building

Access and Surface Parking

Residential  
Building

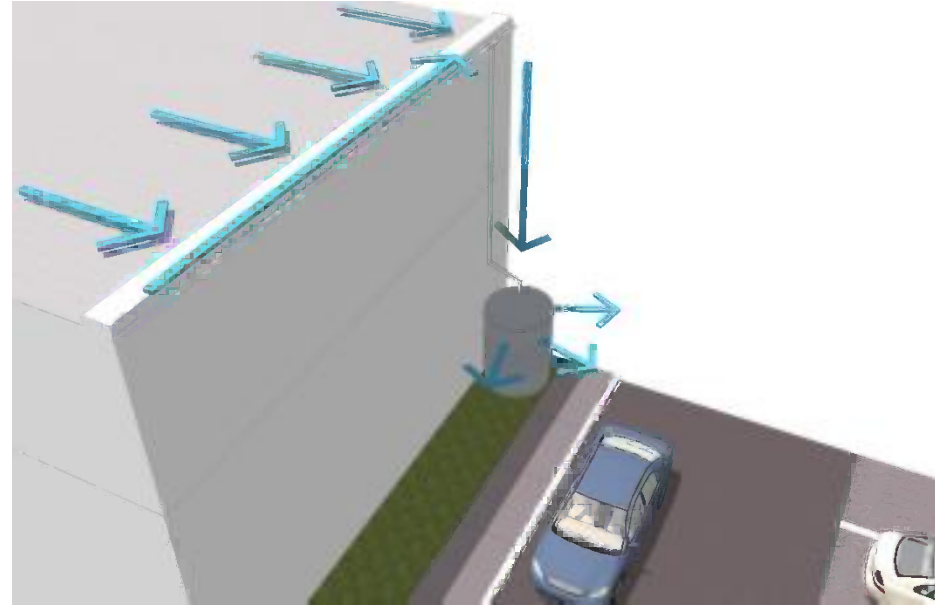
Pedestrian  
Zone

Creek Habitat

## Planters and Pervious Paving



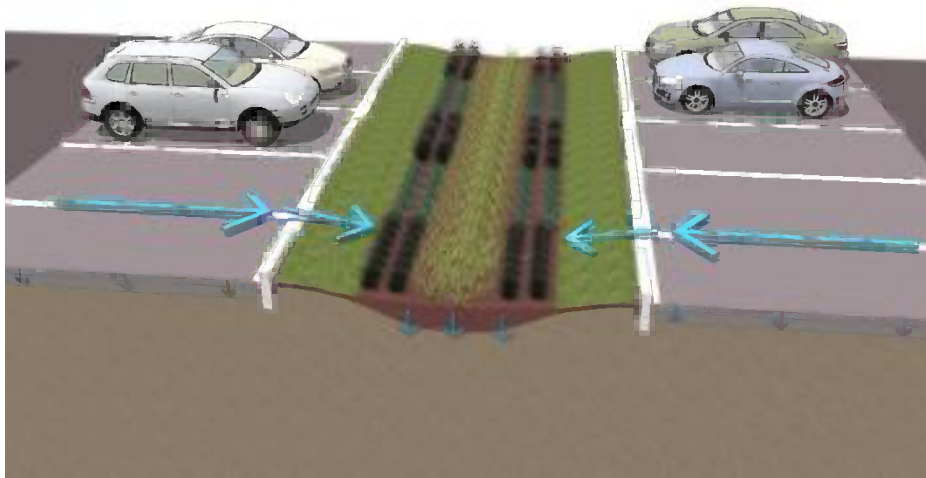
## Rainwater Harvesting



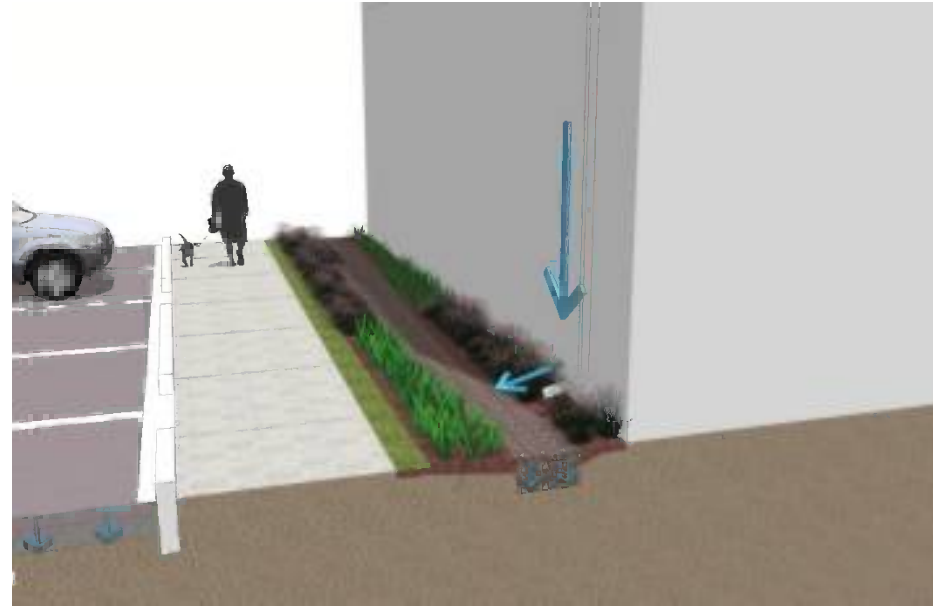
*provided by EPA*



## Parking Medians

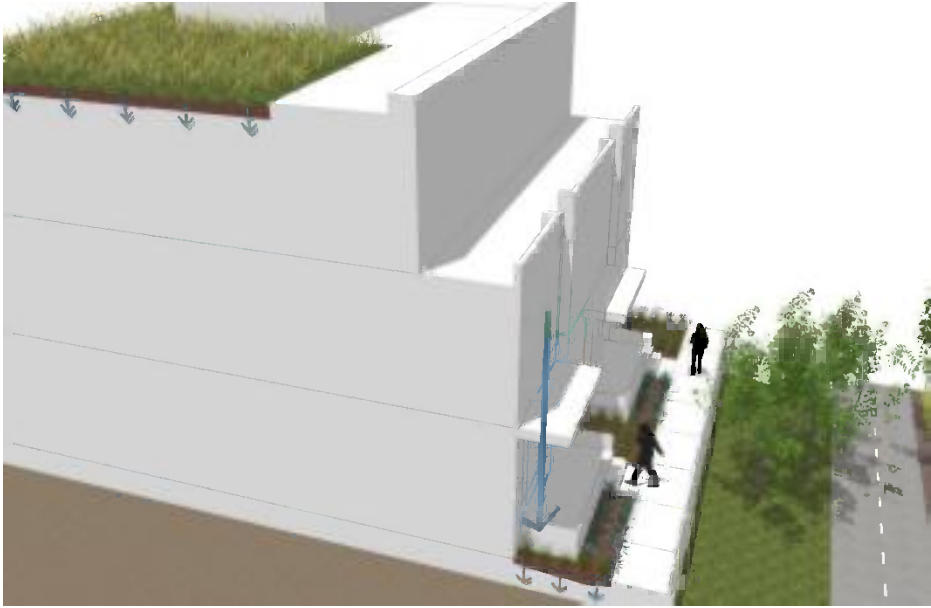


## Swales

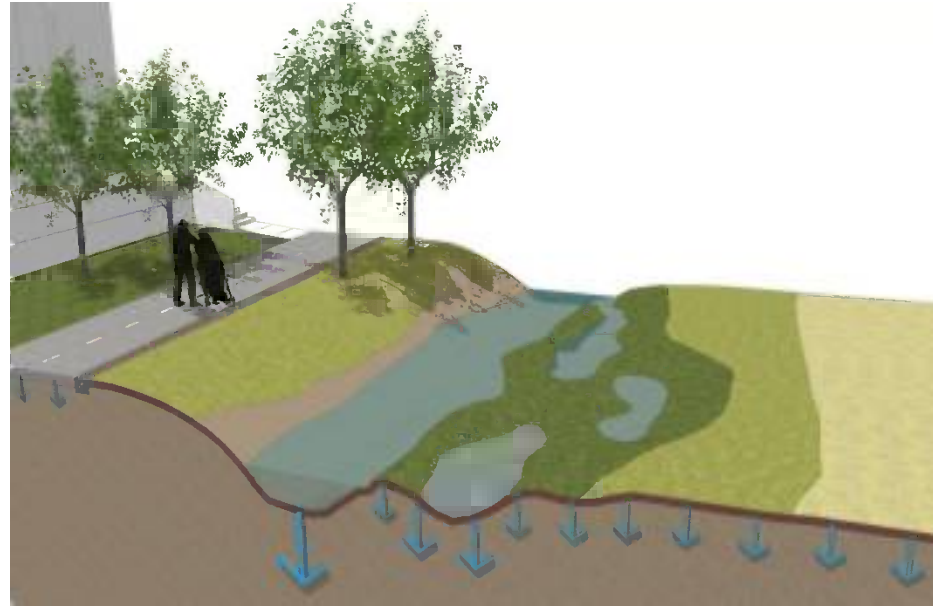




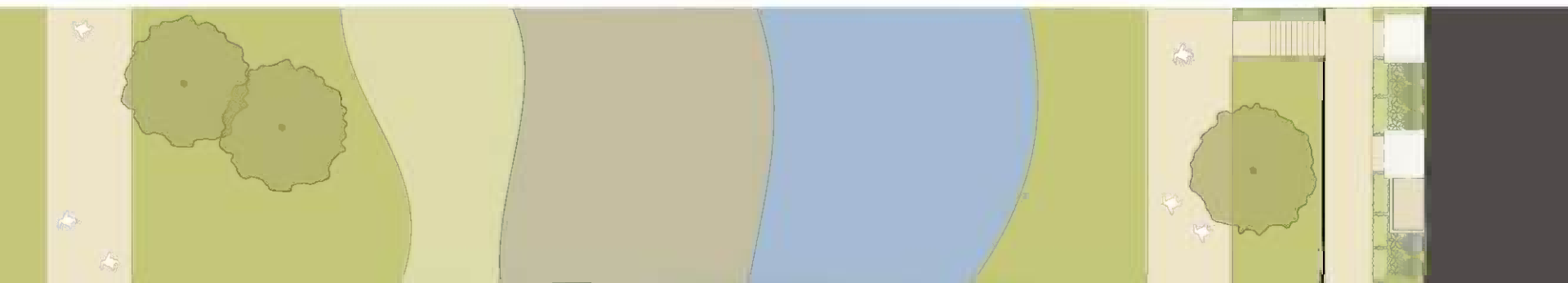
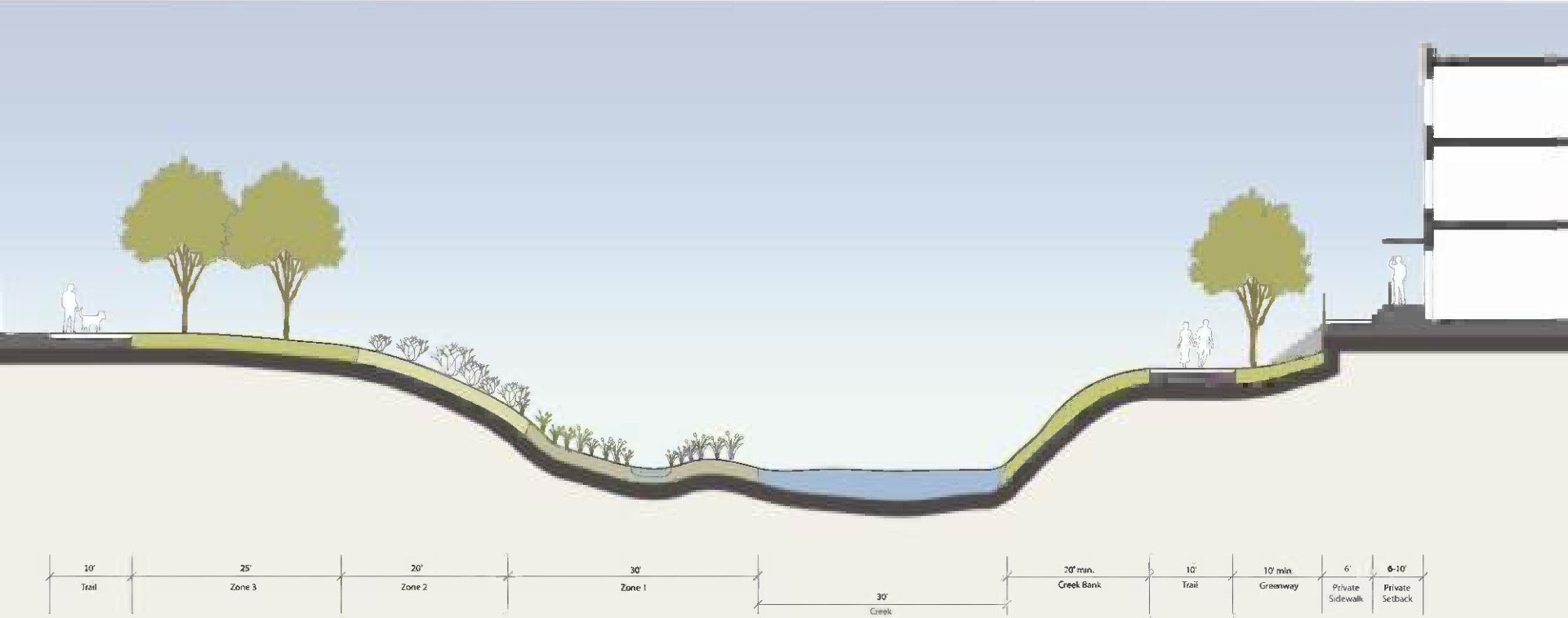
## Green Roofs and Rain Gardens



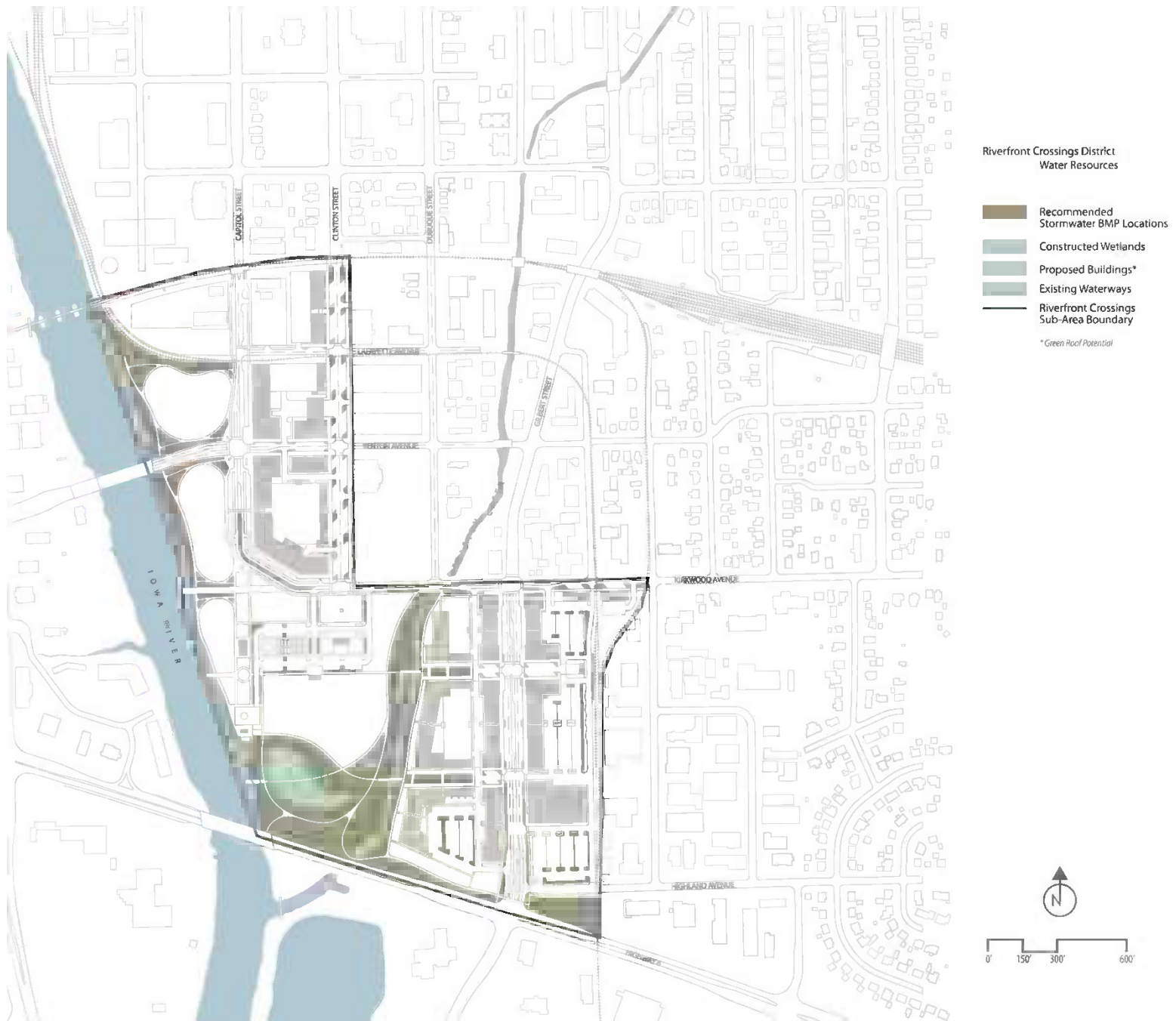
## Creek Restoration and Wetland Habitats



# Ralston Creek Restoration



# Diagram – Water Resources





# Design Guidelines

1. Land Use
2. Building Height
3. Frontages and Setbacks
4. Parking and Access
5. Special Requirements

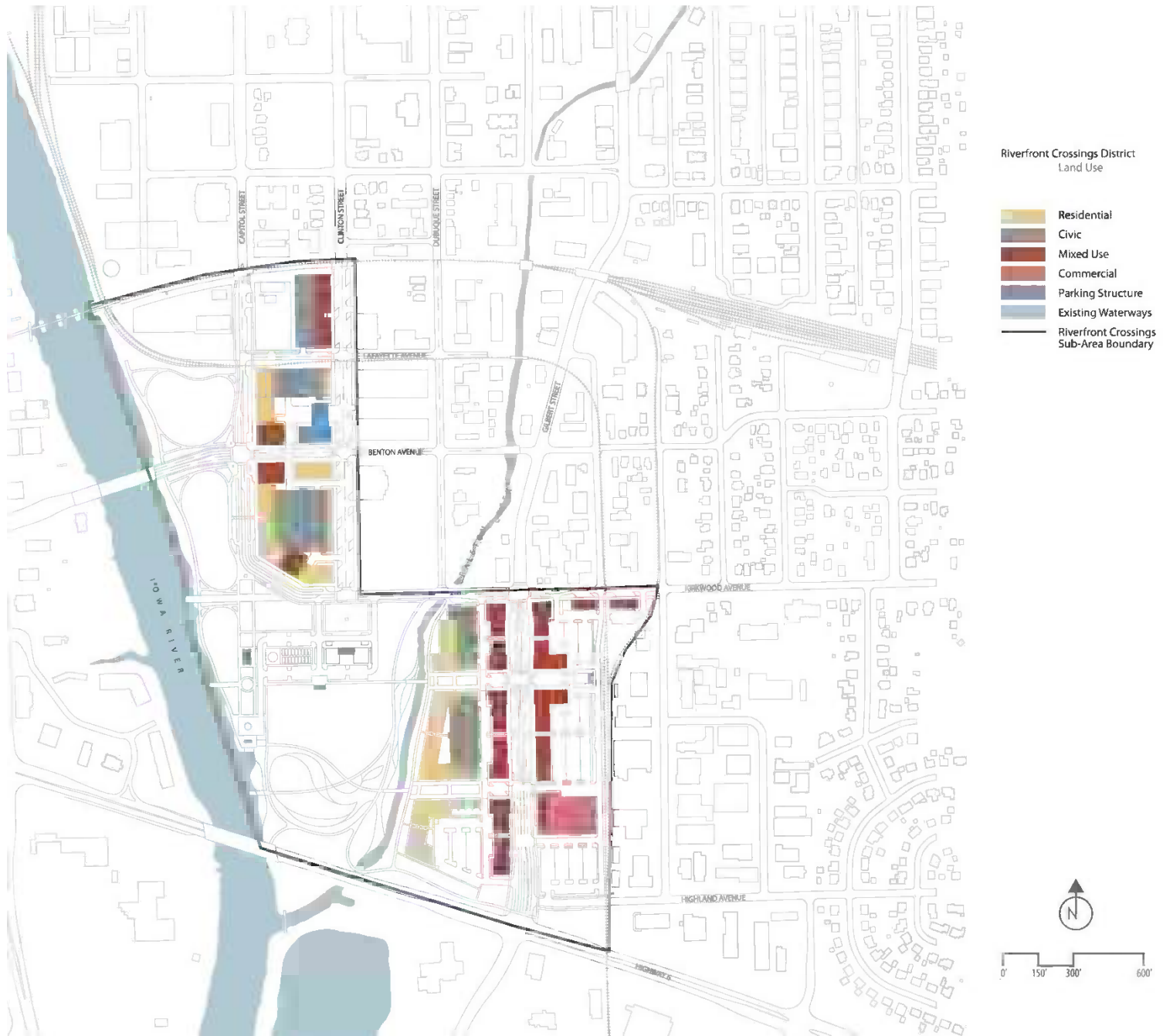
# Land Use

# Land Use Character Photos



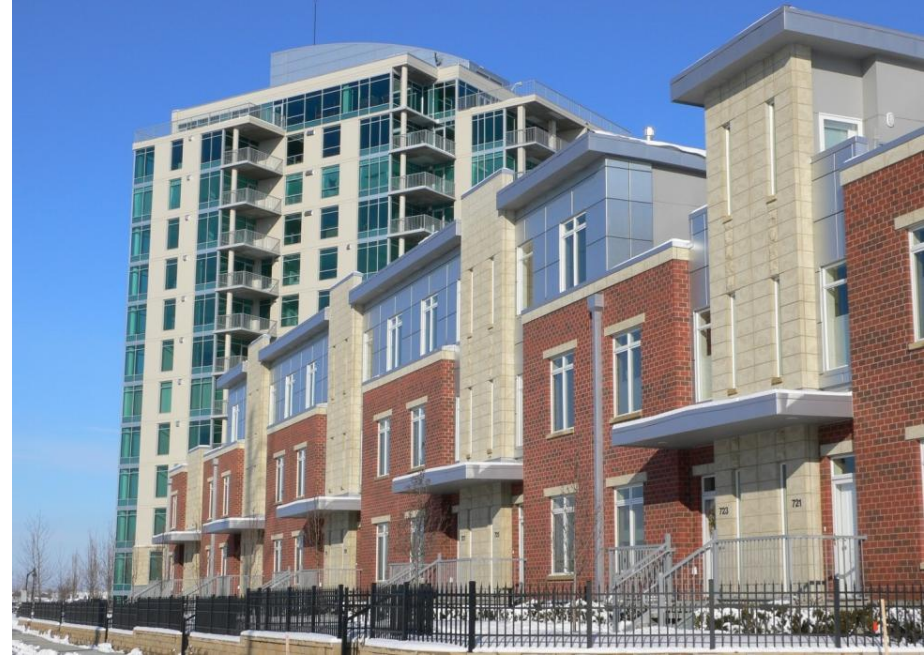


# Diagram – Land Use



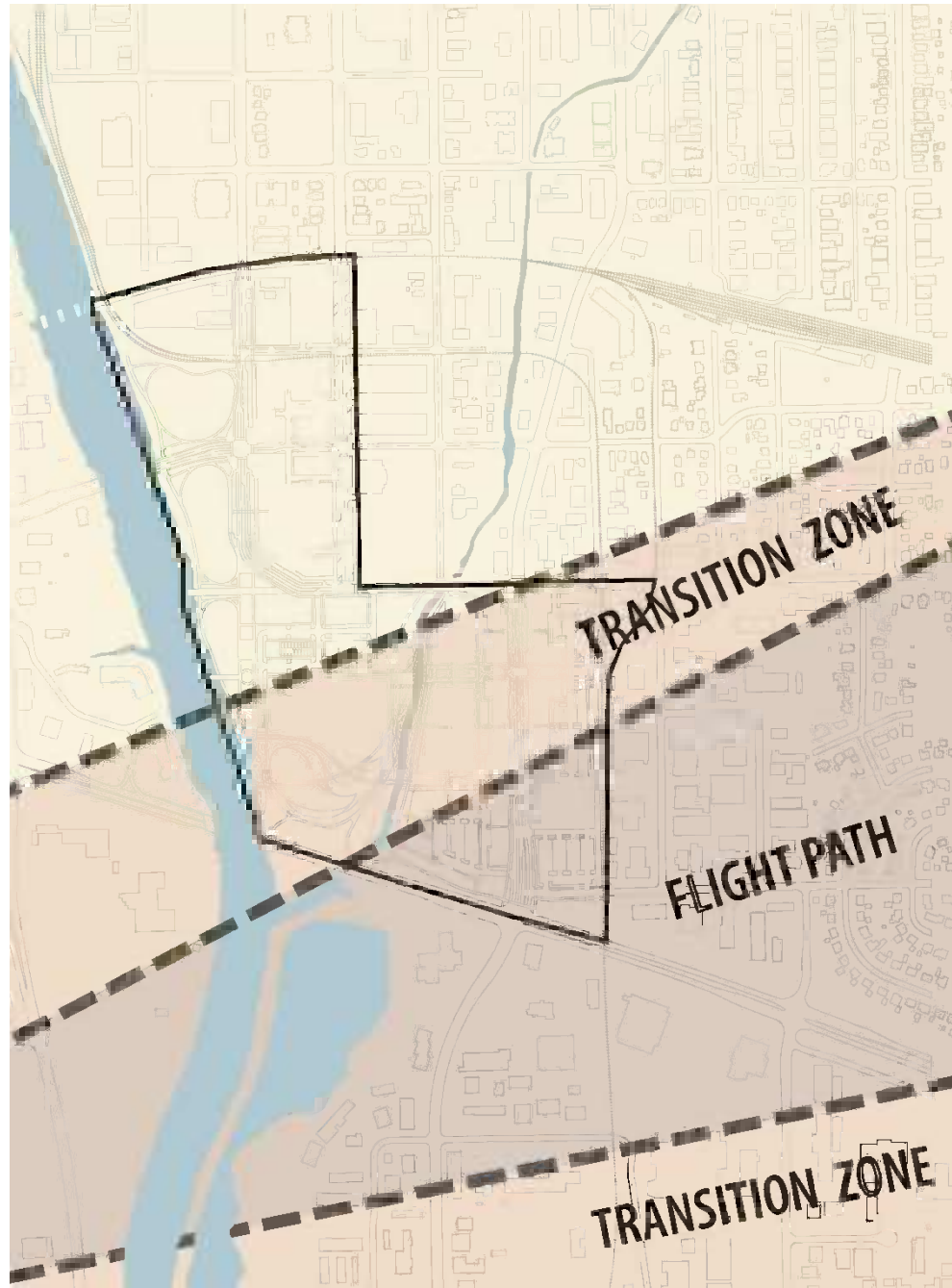
# Building Height

# Building Height Character Photos

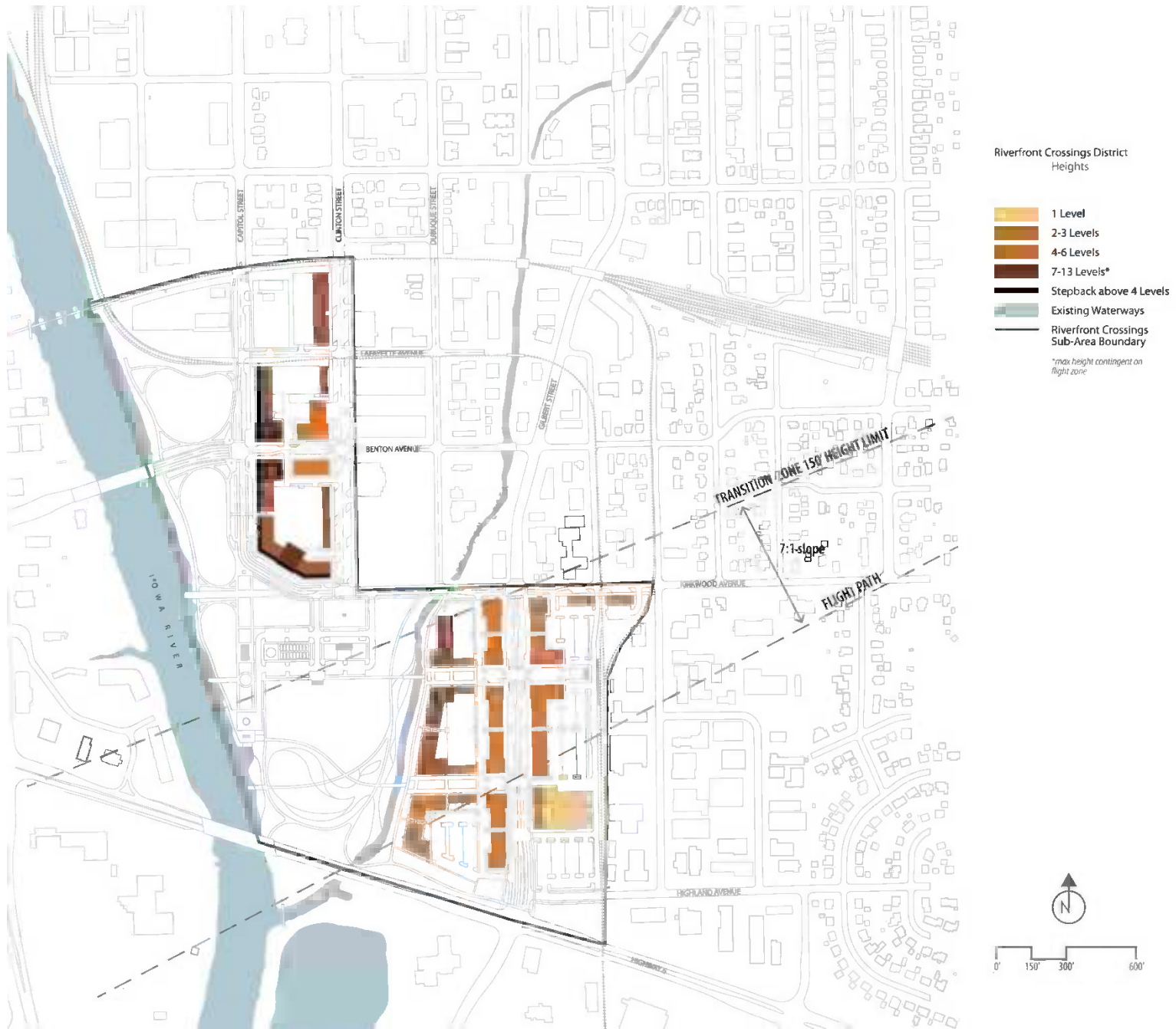




# Diagram – Airport Height Restrictions



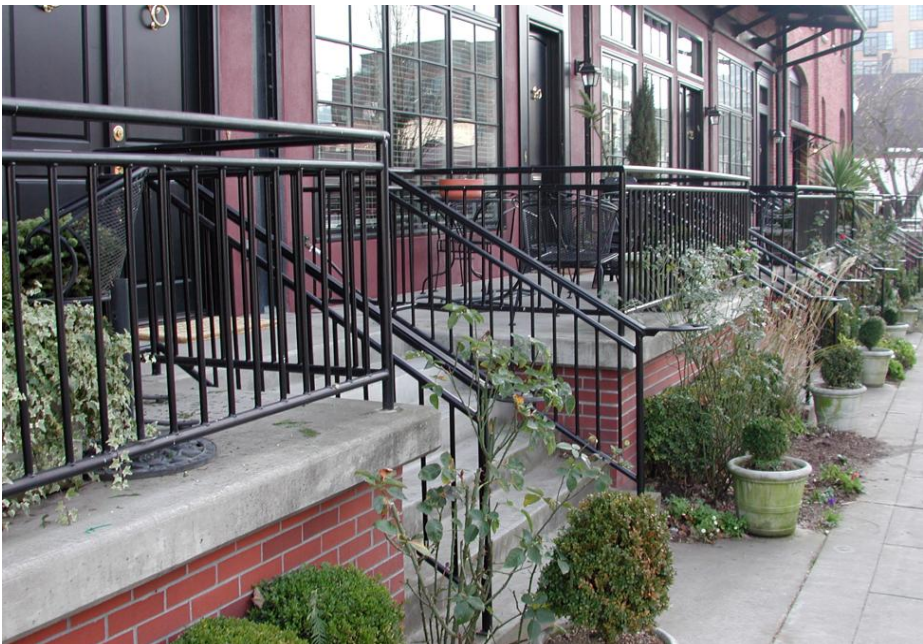
# Diagram – Building Height



# Frontages and Setbacks



# Frontages and Setbacks Character Photos





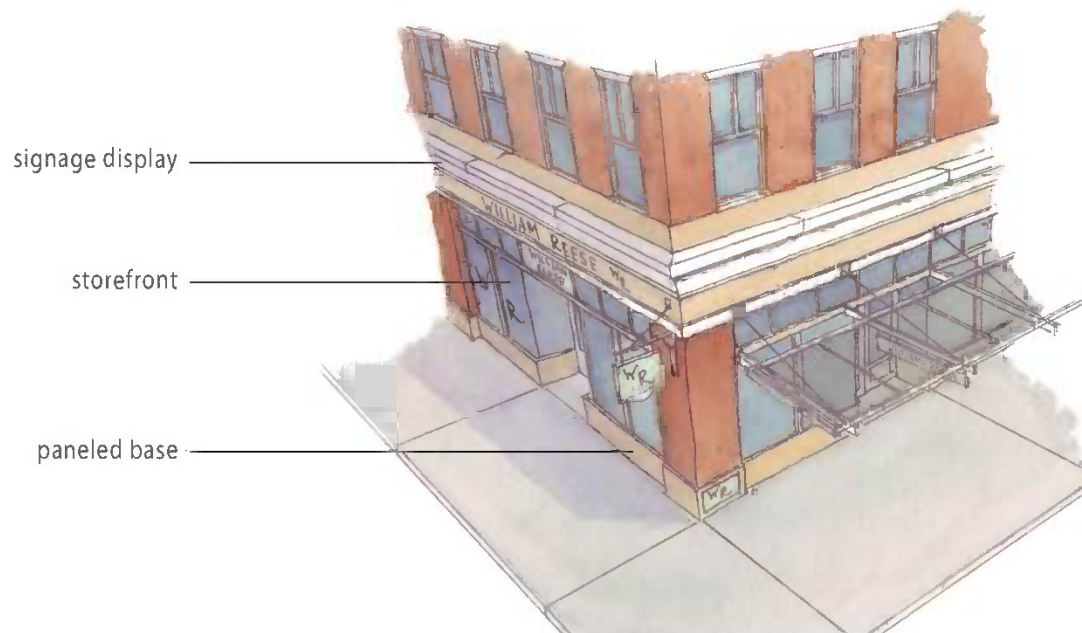
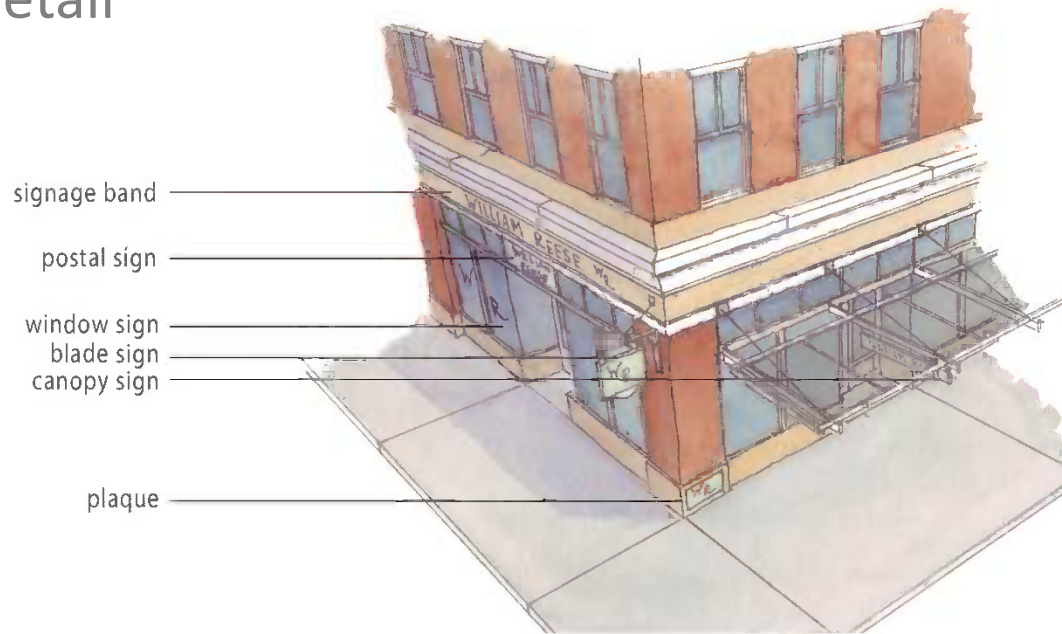
# Contemporary Façade



# Traditional Façade

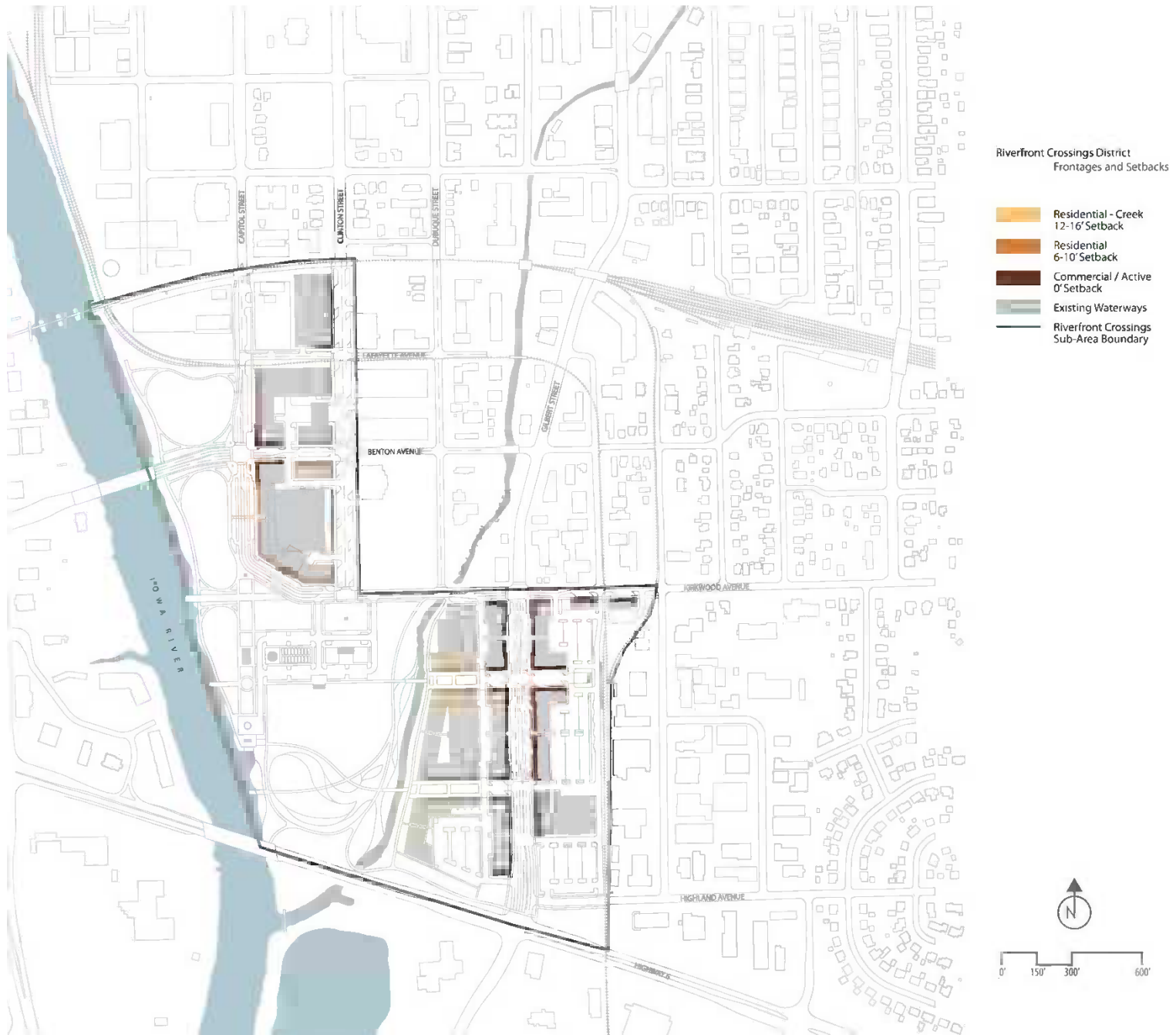


## Storefront Detail





# Diagram – Frontages and Setbacks



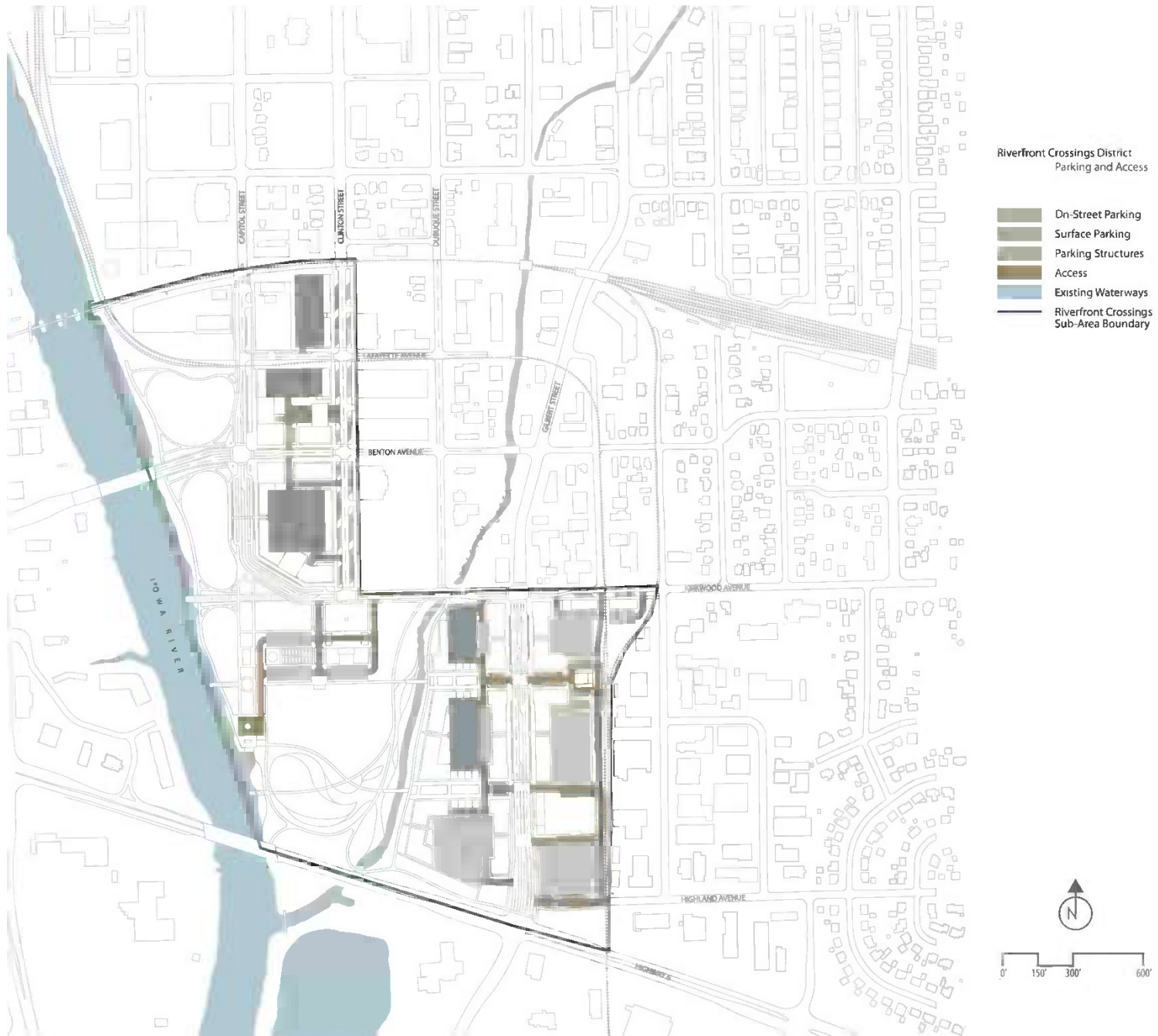
# Parking and Access

# Parking and Access Character Photos





# Diagram – Parking and Access



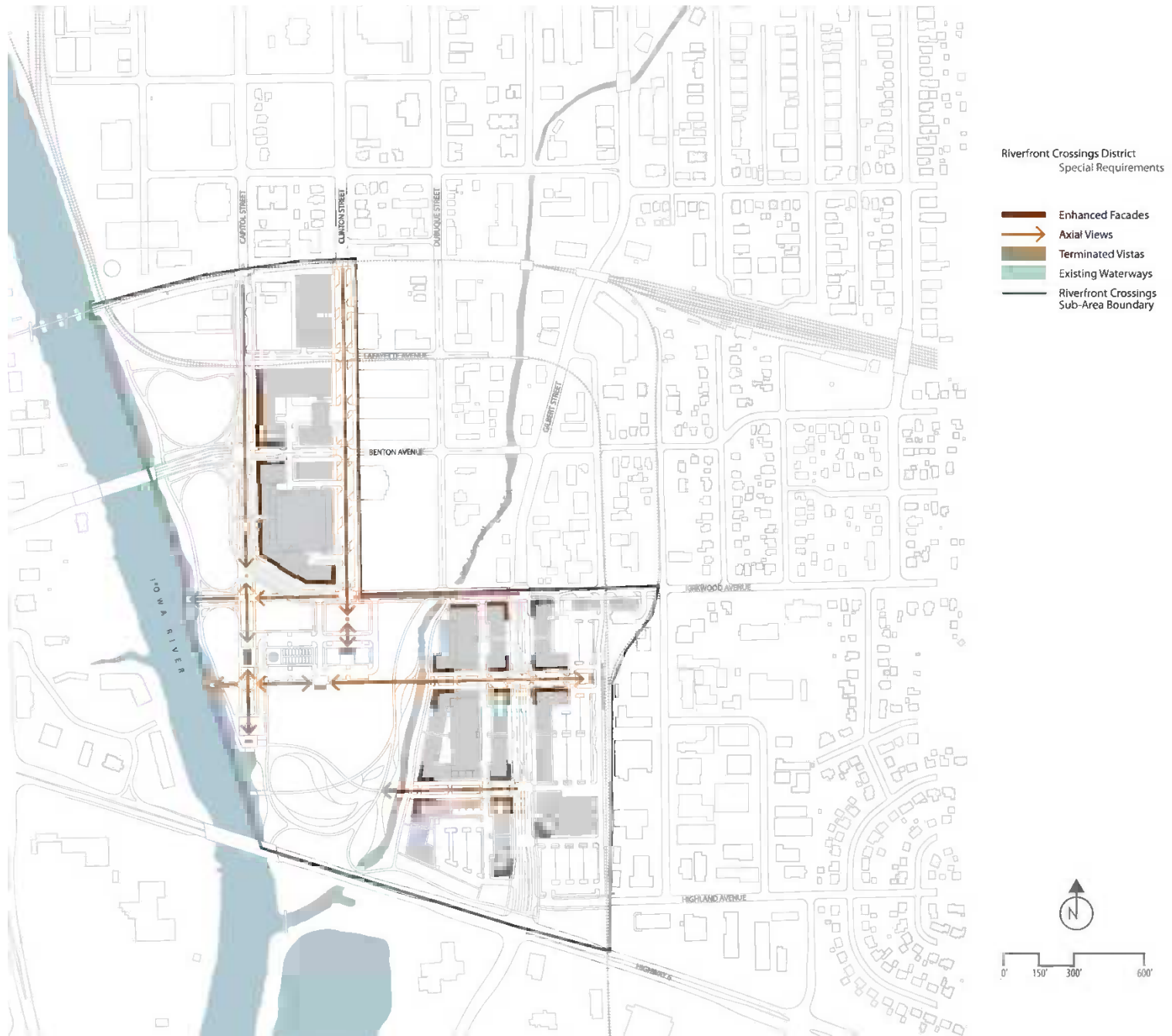
# Special Requirements

# Special Requirements Character Photos





# Diagram – Special Requirements



- Next Steps
- Open House Discussion
- [www.icgov.org/riverfrontcrossings](http://www.icgov.org/riverfrontcrossings)

